

Proposed Easements			
Shown	Purpose	Burdened Land	Benefited Land or Grantee
B	Right of way (in gross)	Lot 4018	QLDC
	Right to convey water		Lot 90
C	Right of way, Right to drain sewage and water, Right to convey electricity, Right to convey telecommunications, Right to convey water.	Lot 4148	Lot 4149
D	Right (in gross) to drain water, sewage and convey water, Right to overland flow	Lot 4058	QLDC
E	Right (in gross) to drain water, overland flow	Lot 4051	QLDC
F	Right of way, Right to drain water, Right to drain sewage, Right to convey water, Right to convey electricity, Right to convey telecommunications.	Lot 4020	Lot 4022
G		Lot 4022	Lot 4020
H		Lot 4024	Lot 4026
I		Lot 4026	Lot 4024
J		Lot 4028	Lot 4030
K		Lot 4030	Lot 4028
L		Lot 4032	Lot 4034
M		Lot 4034	Lot 4032
O	Right (in gross) to drain water, Right (in gross) to overland flow, Right of way (in gross).	Lot 90	QLDC
Existing Easements			
A	Right (in gross) to drain water, overland flow	Lot 4010	QLDC
N	Right (in gross) to undertake works for, operate, and maintain stormwater and flood management infrastructure	Lot 1025	QLDC
XT	Right (in gross) to drain sewage and water and a right to convey water	Lot 4058	QLDC
XT	Right (in gross) to convey water	Lot 4058	Henley Downs Residents and Owners Association Incorporated

L	Change Lot 90 to balance land	MA	21/08/2020
K	Change Lot 90 to JPROA, revise no-build areas	MA	13/08/2020
J	Add existing easement 'XT'	MA	27/07/2020
I	Change Lot 90 to QLDC reserve	MA	23/07/2020
H	Insert amalgamation conditions (now removed)	MA	15/07/2020
G	Split into two stages, DP4A and DP4B	MA	05/06/2020
F	Change Lot 90 from reserve to vest to private lot (open space) to transfer to JPROA	MA	26/05/2020
E	Modify Lot 4018 access, add floodway easements	MA	20/04/2020
D	Modify Lot 4120 for sight lines	MA	16/04/2020
C	Modify no-build zones and various lot boundaries	MA	31/03/2020
B	Existing site contours added	MA	02/03/2020
A	Original Issue	MA	09/12/2019
Rev.	Revision Details	By	Date

'Special Engineering Design' and 'No Build' Areas

extent requiring special engineering design (SED) by Consent Notice, nominally 5m inside top of ridge, final area is to be confirmed after detailed design phase

post earthworks
ridgeline, between red and blue hatched areas

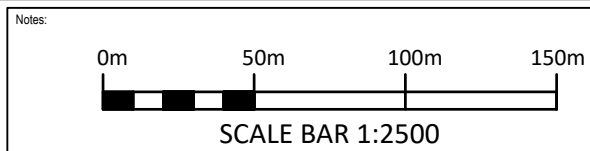
'no build area' by Consent Notice, downhill of top of ridge, final area is to be confirmed after detailed design phase

INDEX	
Sheets 12-14:	Lot Layouts
Sheet 15:	Existing Title Interests and Aerial Image
Sheet 16:	Existing Contours
Sheet 18:	OSA Overlay

SUBDIVISION NOTES:	
VEST AS ROAD Lots 40 and 41 hereon are to vest in Queenstown Lakes District Council as Legal Road.	
VEST AS RESERVE Lots 89 and 91 hereon are to vest in Queenstown Lakes District Council as Local Purpose Reserve (Walkway).	
AMALGAMATION CONDITIONS N/A - there are no amalgamation conditions.	
ESPLANADE RESERVES N/A - there are no streams with beds > 3m average width.	

GENERAL DEVELOPMENT NOTES:	
1. All parcel areas and dimensions shown are subject to survey, Council and LINZ approvals and may vary on final survey.	
2. Refer to Records of Title for registered interests.	
3. Proposed easements are to be determined.	
4. Boundaries and easements will follow as-built infrastructure. Easements are to be granted or reserved on deposit of the survey plan and may not necessarily be shown on these plans. Easement widths are to be confirmed.	
5. Any net areas shown exclude Rights of Way only.	
6. Any aerial imagery is sourced from QLDC GIS.	

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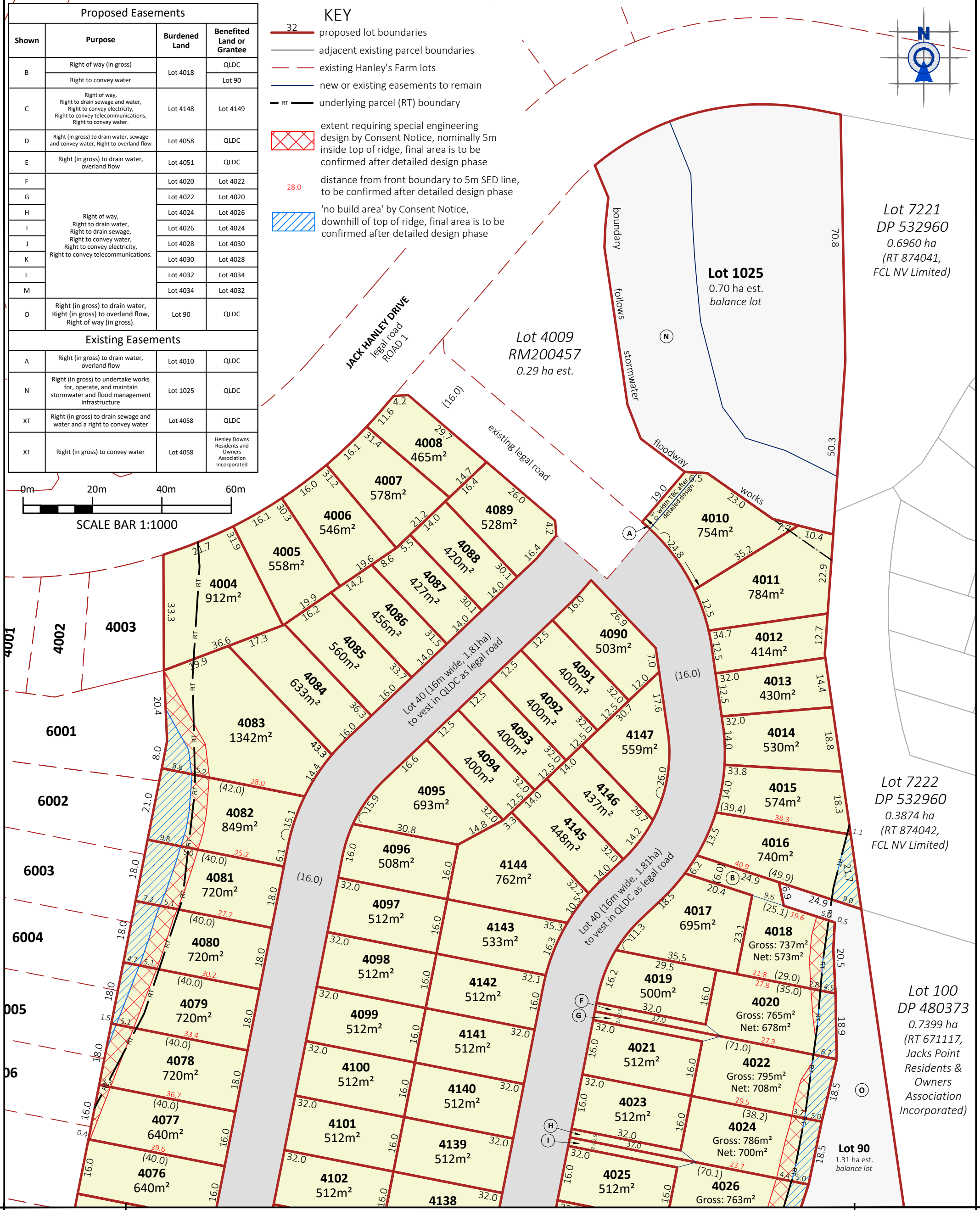
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Client/Location:

RCL Henley Downs Limited
Jack Hanley Drive
Hanley's Farm

Subdivision Plan - DP4B
Lots 40 - 41, 89 - 91, 1025, 4004 - 4008 and 4010 - 4149 being a Proposed Subdivision of Lot 910 DP 510675, Lots 1011 and 1012 DP 542111 and Lots 1023 - 1024 RM200457

Surveyed by:	MA	Original Size: A3	Scale:	
Designed by:	RCL/MA		1:2500	
Drawn by:	MA			
Checked by:	SW, DB			
Approved by:	SW		DO NOT SCALE	
Job Ref:	Q6205 - 42	Sheet No:	Revision No:	Date Created:
		11	L	21/08/2020



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Notes:

rcl group

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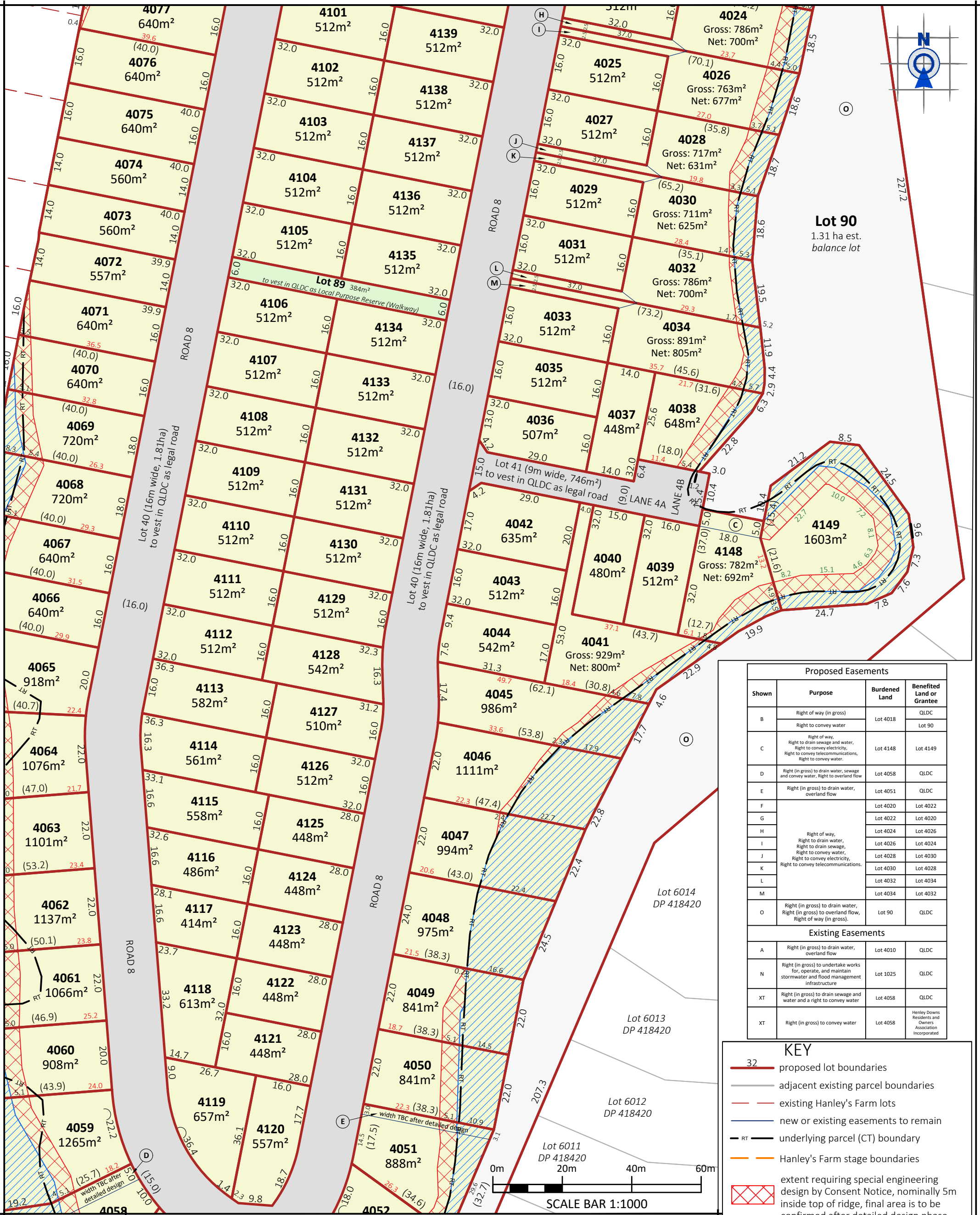
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Client/Location:
**RCL Henley Downs Limited
Jack Hanley Drive
Hanley's Farm**

Purpose/Drawing Title:
**Subdivision Plan - DP4B
Proposed Lot Layout**

Surveyed by:	MA	Original Size:	Scale:
Designed by:	RCL/MA	A3	1:1000
Drawn by:	MA		
Checked by:	SW, DB		
Approved by:	SW	DO NOT SCALE	
Job Ref:	Q6205 - 42	Sheet No:	Revision No:
		12	L
			Date Created:
			21/08/2020



Proposed Easements			
Shown	Purpose	Burdened Land	Benefited Land or Grantee
B	Right of way (in gross)	Lot 4018	QLDC
	Right to convey water		Lot 90
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XT	Right (in gross) to convey water	Lot 4058	Henley Downs Residents and Owners Association Incorporated

KEY

32

proposed lot boundaries

adjacent existing parcel boundaries

RT

28.0

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Please refer to sheet 11 for plan notes

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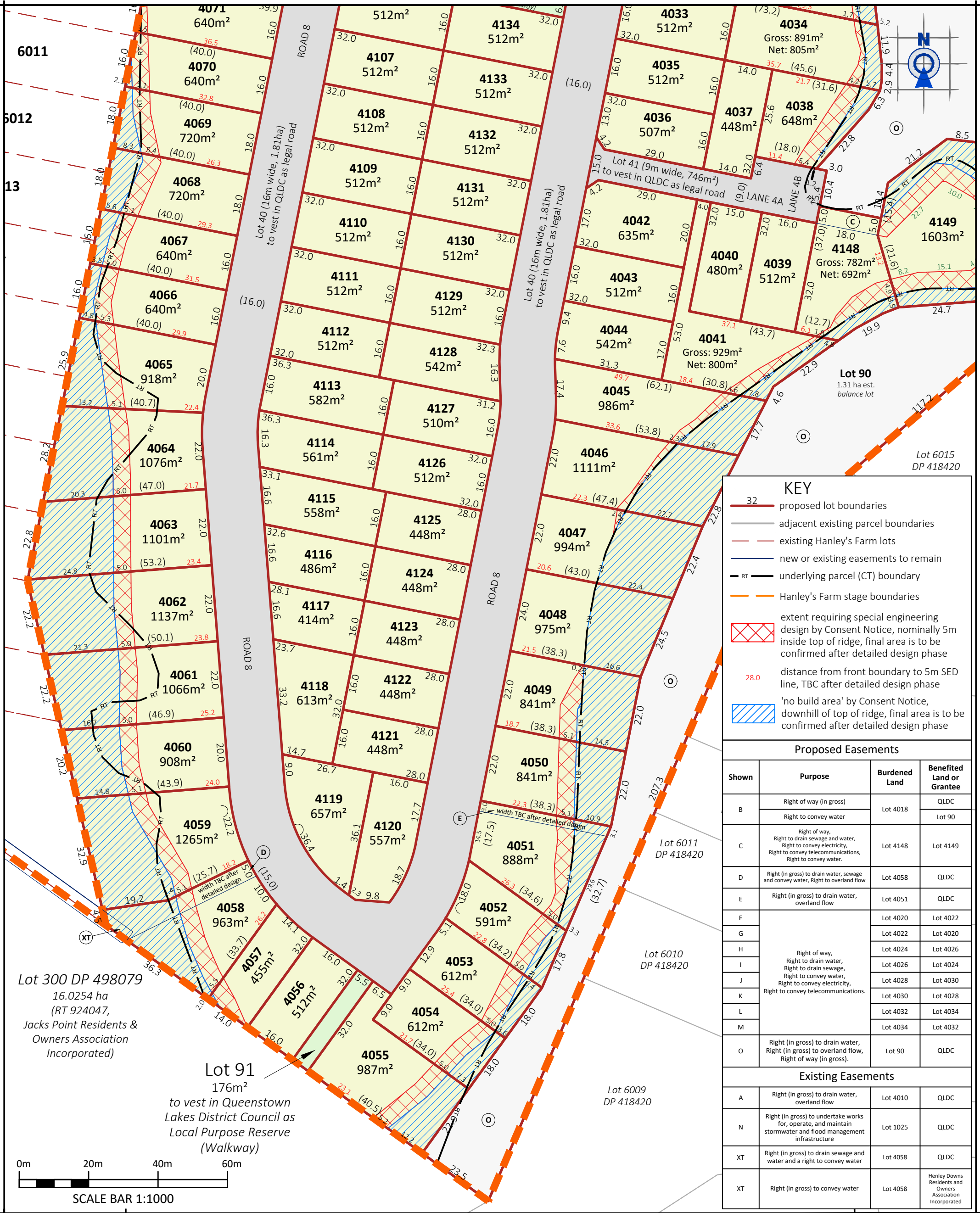
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Client/Location:
RCL Henley Downs Limited
Jack Hanley Drive
Hanley's Farm

Purpose/Drawing Title:
Subdivision Plan - DP4B
Proposed Lot Layout

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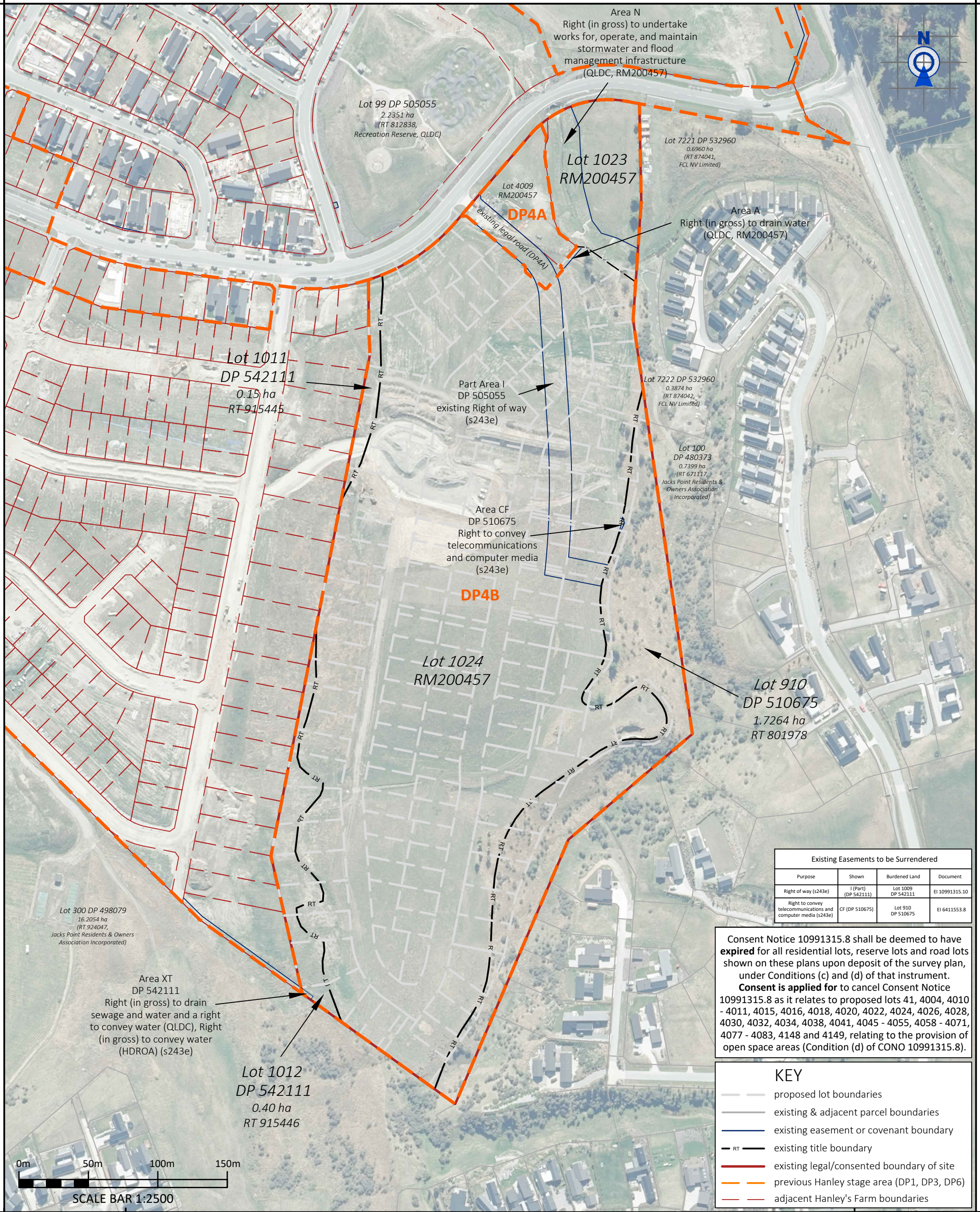
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RCL Henley Downs Limited
Jack Hanley Drive
Hanley's Farm

Purpose/Drawing Title:
Subdivision Plan - DP4B
Proposed Lot Layout

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Designed by:	RCL/MA	A3	1:1000
Drawn by:	MA		
Checked by:	SW, DB		
Approved by:	SW	DO NOT SCALE	
Job Ref:	Q6205 - 42	Sheet No:	14
		Revision No:	L
		Date Created:	21/08/2020



Existing Easements to be Surrendered			
Purpose	Shown	Burdened Land	Document
Right of way (s243e)	1 (Part) (DP 542111)	Lot 1009 DP 542111	EI 10991315.10
Right to convey telecommunications and computer media (s243e)	CF (DP 510675)	Lot 910 DP 510675	EI 6411553.8

Consent Notice 10991315.8 shall be deemed to have **expired** for all residential lots, reserve lots and road lots shown on these plans upon deposit of the survey plan, under Conditions (c) and (d) of that instrument.

Consent is applied for to cancel Consent Notice 10991315.8 as it relates to proposed lots 41, 4004, 4010 - 4011, 4015, 4016, 4018, 4020, 4022, 4024, 4026, 4028, 4030, 4032, 4034, 4038, 4041, 4045 - 4055, 4058 - 4071, 4077 - 4083, 4148 and 4149, relating to the provision of open space areas (Condition (d) of CONO 10991315.8).

KEY	
	proposed lot boundaries
	existing & adjacent parcel boundaries
	existing easement or covenant boundary
	existing title boundary
	existing legal/consented boundary of site
	previous Hanley stage area (DP1, DP3, DP6)
	adjacent Hanley's Farm boundaries

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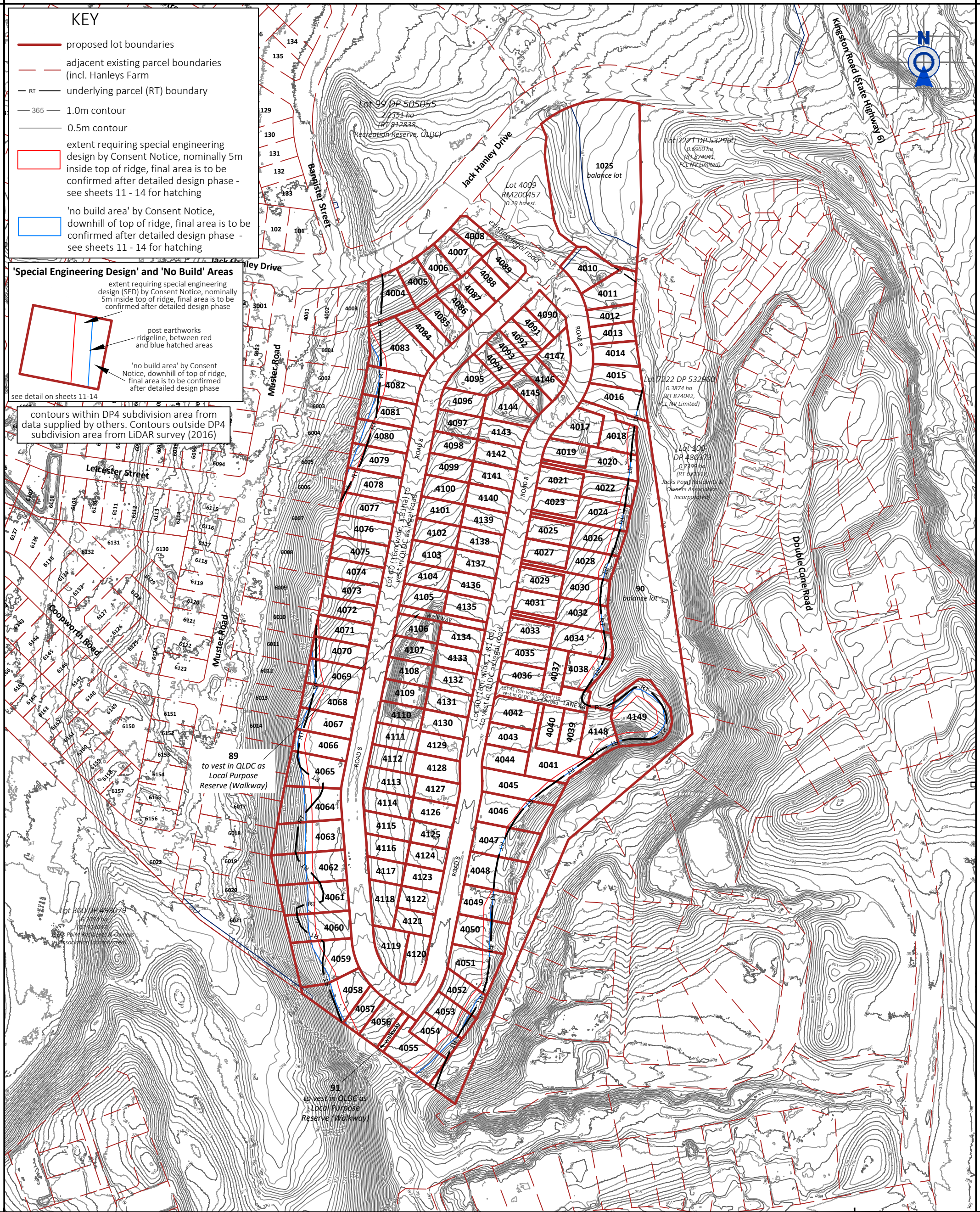
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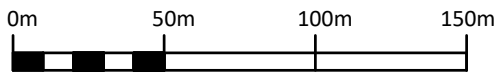
Purpose/Drawing Title:
Subdivision Plan - DP4B
Existing Title Interests and
Aerial Imagery Overlay

Surveyed by:	MA	Original Size: <
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SCALE BAR 1:2500



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Jack Hanley Drive
Hanley's Farm

Purpose/Drawing Title:
Subdivision Plan - DP4B
Existing Contours

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Checked by:	SW, DB		
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Job Ref:	Q6205 - 42	Sheet No:	DO NOT SCALE
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		Revision No:	Date Created:
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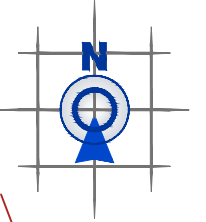
KEY

-  proposed lot boundaries
-  adjacent existing parcel boundaries (incl. Hanleys Farm)
-  underlying parcel (RT) boundary
-  'OSA' Open Space Residential Amenity area as shown on 'Jacks Point Zone' plan stamped by Environment Court Consent Order 21 May 2020
-  'no build area' by Consent Notice, downhill of top of ridge, final area is to be confirmed after detailed design phase

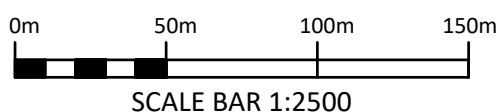
Lot 100
DP 480373
0.7399 ha
(RT 671117,
Lacks Point Residents &
Owners Association
Incorporated)

89
to vest in QLDC as
Local Purpose
Reserve (Walkway)

Kingston Road (State Highway 6)



Notes:



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Hanley's Farm

Purpose/Drawing Title:

Subdivision Plan - DP4B
'OSA' Overlay

Surveyed by:	MA	Original Size:	Scale: 1:2500	
Designed by:	RCL/MA			
Drawn by:	MA			
Checked by:	SW, DB			
Approved by:	SW			
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Job Ref: Q6205 - 42			Sheet No: 18	Revision No: L