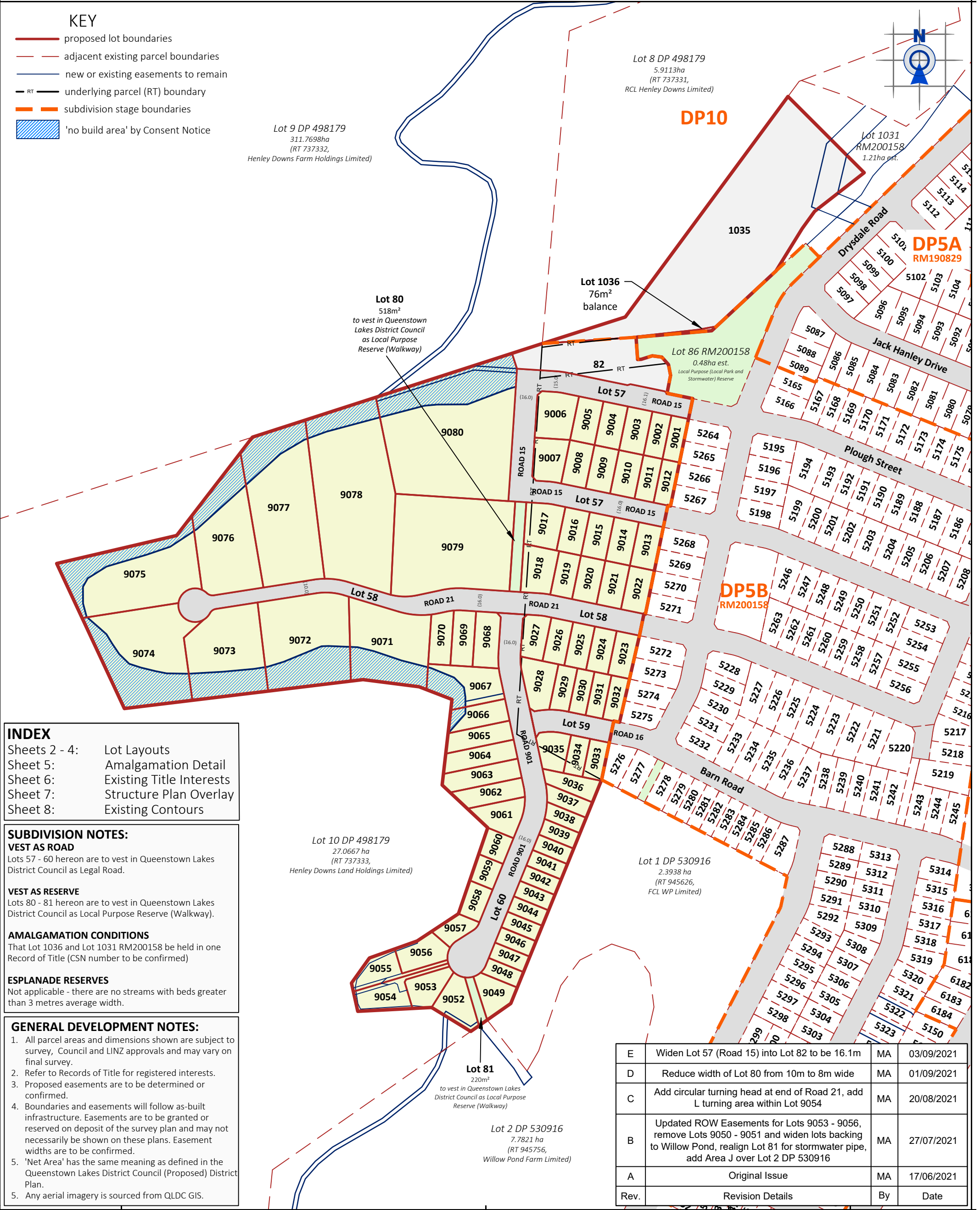
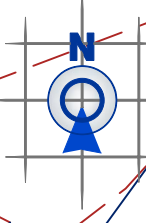


- KEY**
- proposed lot boundaries
 - adjacent existing parcel boundaries
 - new or existing easements to remain
 - underlying parcel (RT) boundary
 - subdivision stage boundaries
 - 'no build area' by Consent Notice



INDEX

Sheets 2 - 4:	Lot Layouts
Sheet 5:	Amalgamation Detail
Sheet 6:	Existing Title Interests
Sheet 7:	Structure Plan Overlay
Sheet 8:	Existing Contours

SUBDIVISION NOTES:
VEST AS ROAD
 Lots 57 - 60 hereon are to vest in Queenstown Lakes District Council as Legal Road.

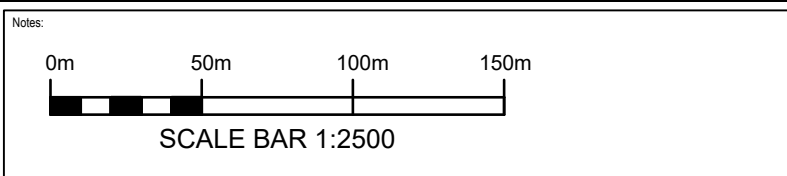
VEST AS RESERVE
 Lots 80 - 81 hereon are to vest in Queenstown Lakes District Council as Local Purpose Reserve (Walkway).

AMALGAMATION CONDITIONS
 That Lot 1036 and Lot 1031 RM200158 be held in one Record of Title (CSN number to be confirmed)

ESPLANADE RESERVES
 Not applicable - there are no streams with beds greater than 3 metres average width.

- GENERAL DEVELOPMENT NOTES:**
- All parcel areas and dimensions shown are subject to survey, Council and LINZ approvals and may vary on final survey.
 - Refer to Records of Title for registered interests.
 - Proposed easements are to be determined or confirmed.
 - Boundaries and easements will follow as-built infrastructure. Easements are to be granted or reserved on deposit of the survey plan and may not necessarily be shown on these plans. Easement widths are to be confirmed.
 - 'Net Area' has the same meaning as defined in the Queenstown Lakes District Council (Proposed) District Plan.
 - Any aerial imagery is sourced from QLDC GIS.

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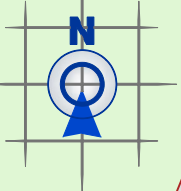
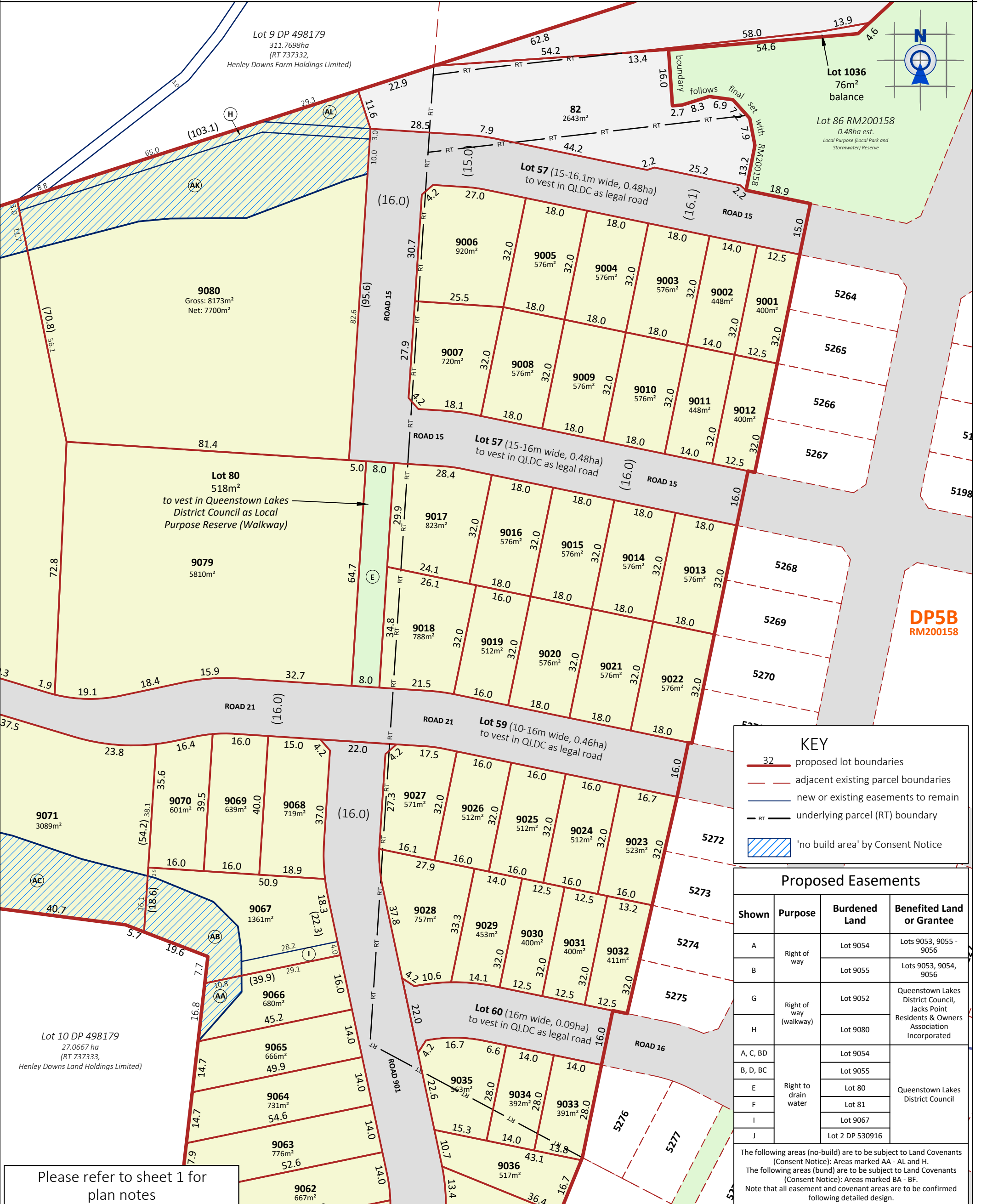
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Client/Location:
RCL Henley Downs Limited
 Barn Road
 Hanley's Farm

Purpose/Drawing Title:
Plan of Proposed Subdivision - DP9
 Lots 57 - 60, 80 - 82, 1035, 1036, 9001 - 9049 and 9052 - 9080 being a Proposed Subdivision of Lot 7 DP 498179 and Lots 1029, 1030 & 1032 RM200158

Surveyed by:	MA 2020	Original Size:	Scale:
Designed by:	RCL, MA May 2021	A3	1:2500
Drawn by:	MA Aug 2021		
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Approved by:		Sheet No:	Revision No:
Job Ref:	Q6205 - 92	1	E
			Date Created:
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KEY

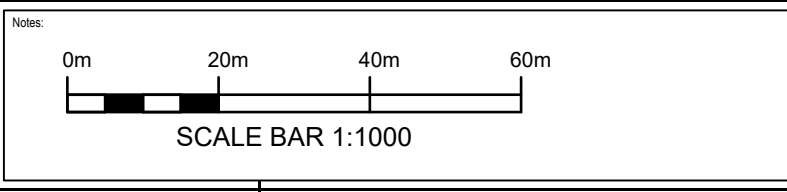
- 32 proposed lot boundaries
- adjacent existing parcel boundaries
- new or existing easements to remain
- RT underlying parcel (RT) boundary
- 'no build area' by Consent Notice

Proposed Easements			
Shown	Purpose	Burdened Land	Benefited Land or Grantee
A	Right of way	Lot 9054	Lots 9053, 9055 - 9056
B		Lot 9055	Lots 9053, 9054, 9056
G	Right of way (walkway)	Lot 9052	Queenstown Lakes District Council, Jacks Point Residents & Owners Association Incorporated
H		Lot 9080	
A, C, BD	Right to drain water	Lot 9054	Queenstown Lakes District Council
B, D, BC		Lot 9055	
E		Lot 80	
F		Lot 81	
I		Lot 9067	
J		Lot 2 DP 530916	

The following areas (no-build) are to be subject to Land Covenants (Consent Notice): Areas marked AA - AL and H.
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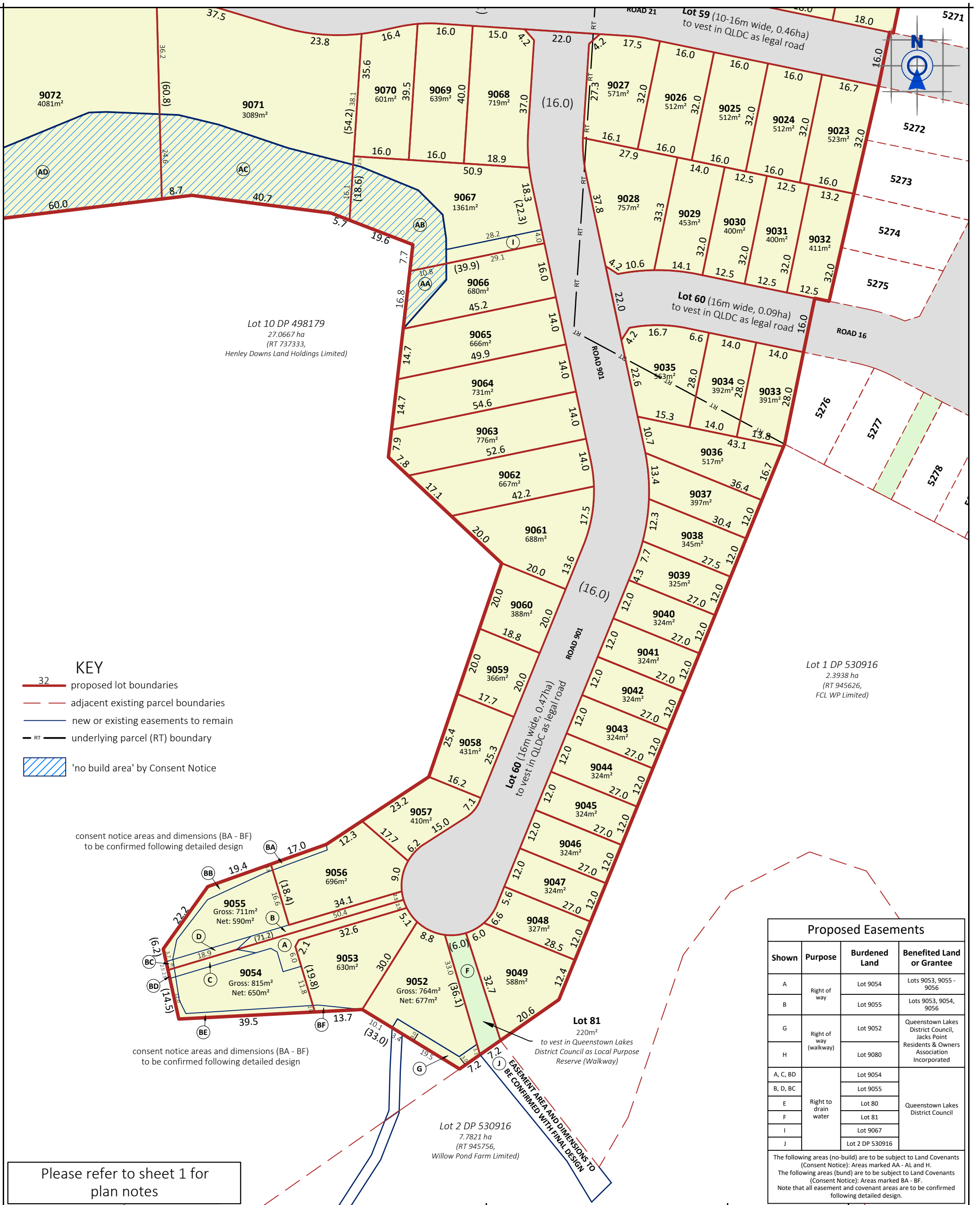
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Client/Location:
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 Hanley's Farm

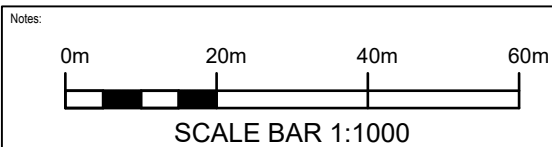
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Plan of Proposed Subdivision - DP9
 Lots 57 - 60, 80 - 82, 1035, 1036, 9001 - 9049 and 9052 - 9080 being a Proposed Subdivision of Lot 7 DP 498179 and Lots 1029, 1030 & 1032 RM200158

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Drawn by:	MA Aug 2021		
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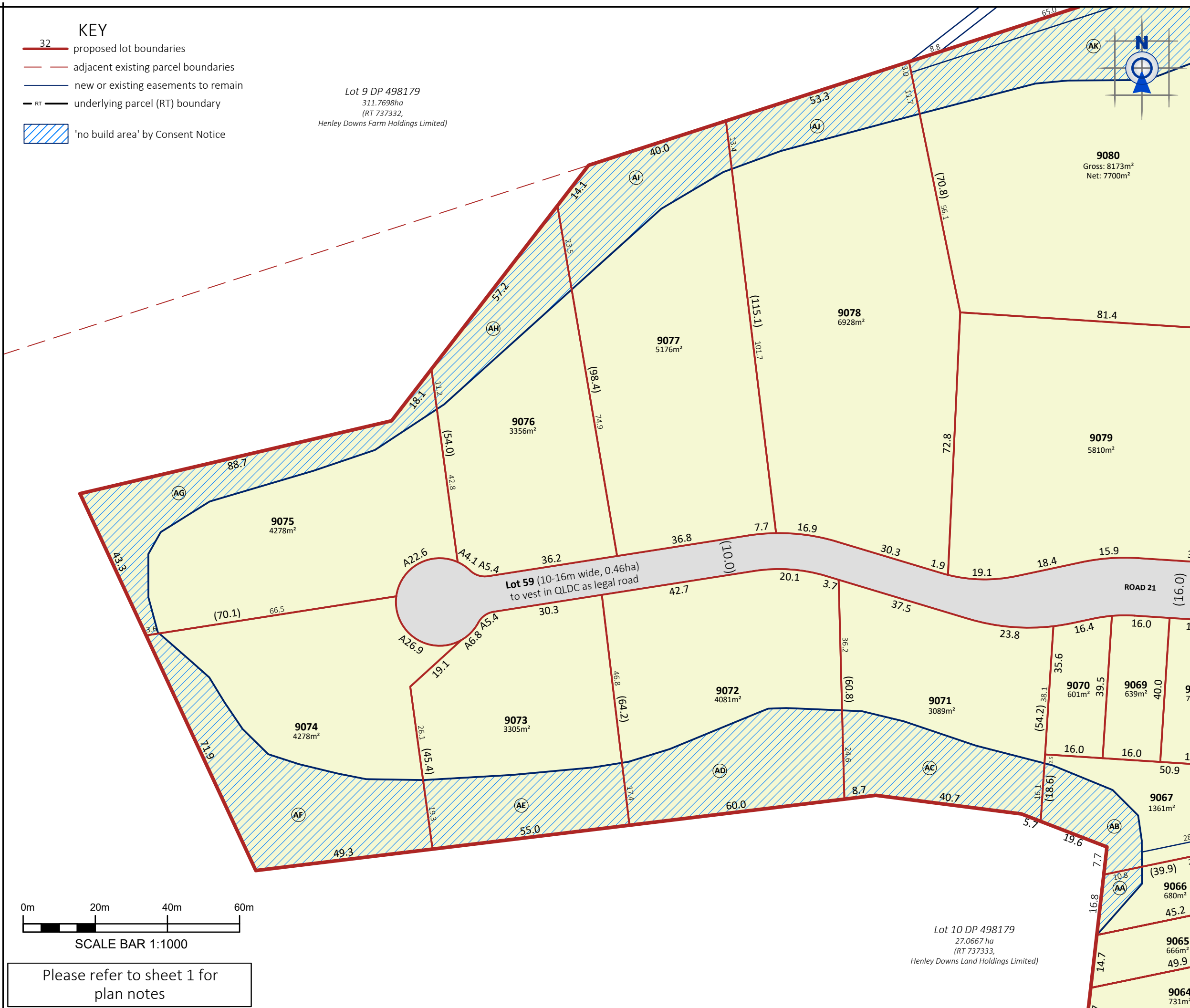
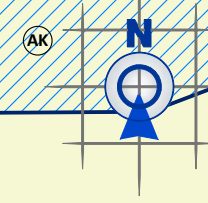
Client/Location:
RCL Henley Downs Limited
Barn Road
Hanley's Farm

Purpose/Drawing Title:
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Lots 57 - 60, 80 - 82, 1035, 1036, 9001 - 9049 and 9052 - 9080 being a Proposed Subdivision of Lot 7 DP 498179 and Lots 1029, 1030 & 1032 RM200158

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Approved by:		Sheet No:	Revision No:
Job Ref:	Q6205 - 92	3	E
			Date Created:
			03/09/2021

- KEY**
- 32 proposed lot boundaries
 - - - adjacent existing parcel boundaries
 - new or existing easements to remain
 - RT underlying parcel (RT) boundary
 - 'no build area' by Consent Notice

Lot 9 DP 498179
311.7698ha
(RT 737332,
Henley Downs Farm Holdings Limited)



Proposed Easements			
Shown	Purpose	Burdened Land	Benefited Land or Grantee
A	Right of way	Lot 9054	Lots 9053, 9055 - 9056
B		Lot 9055	Lots 9053, 9054, 9056
G	Right of way (walkway)	Lot 9052	Queenstown Lakes District Council, Jacks Point Residents & Owners Association Incorporated
H		Lot 9080	
A, C, BD	Right to drain water	Lot 9054	Queenstown Lakes District Council
B, D, BC		Lot 9055	
E		Lot 80	
F		Lot 81	
I		Lot 9067	
J		Lot 2 DP 530916	

The following areas (no-build) are to be subject to Land Covenants (Consent Notice): Areas marked AA - AL and H.
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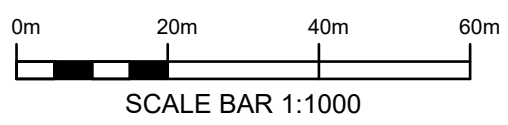
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Client/Location:
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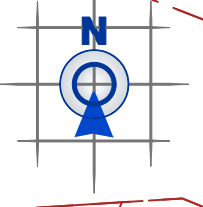
Purpose/Drawing Title:
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Lots 57 - 60, 80 - 82, 1035, 1036, 9001 - 9049 and 9052 - 9080 being a Proposed Subdivision of Lot 7 DP 498179 and Lots 1029, 1030 & 1032 RM200158



Please refer to sheet 1 for plan notes

Lot 10 DP 498179
27.0667 ha
(RT 737333,
Henley Downs Land Holdings Limited)

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Drawn by:	MA Aug 2021		
Checked by:	DB, SW Aug 2021	DO NOT SCALE	
Approved by:		Sheet No:	Revision No:
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		Date Created:	03/09/2021



Area WA DP 555055
existing right to undertake works for, operate, and maintain stormwater and flood management infrastructure (in gross) to remain

Proposed Amalgamation Condition:
That Lot 1036 and Lot 1031 RM200158 be held in one Record of Title (CSN number to be confirmed)

Lot 8 DP 498179
5.9113ha
(RT 737331,
RCL Henley Downs Limited)

Area G DP 555055
existing Right of Way to remain

Lot 903 DP 510675
0.6963ha
(RT 801971,
RCL Henley Downs Limited)

DP10

Area F DP 510675
existing Right of Way to remain

Lot 1031 RM200158
1.21ha est.

Area VI DP 555055
existing right to undertake works for, operate, and maintain stormwater and flood management infrastructure (in gross) to remain

Area VM DP 555055
existing Right of Way to remain

Area VK DP 555055
existing right to undertake works for, operate, and maintain stormwater and flood management infrastructure (in gross) and a right of way to remain

Lot 1036
76m²
balance

Area VL DP 555055
existing right to undertake works for, operate, and maintain stormwater and flood management infrastructure (in gross) to remain

KEY

- 32 proposed lot boundaries
- adjacent existing parcel boundaries
- new or existing easements to remain
- RT underlying parcel (RT) boundary
- 'no build area' by Consent Notice

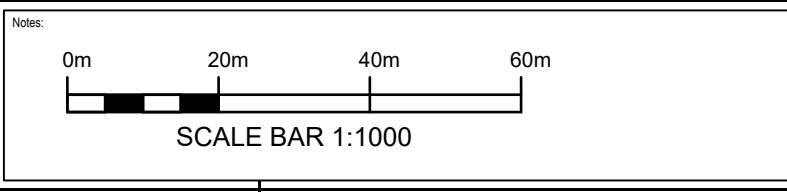
Proposed Easements

Shown	Purpose	Burdened Land	Benefited Land or Grantee
A	Right of way	Lot 9054	Lots 9053, 9055 - 9056
B		Lot 9055	Lots 9053, 9054, 9056
G	Right of way (walkway)	Lot 9052	Queenstown Lakes District Council, Jacks Point Residents & Owners Association Incorporated
H		Lot 9080	
A, C, BD	Right to drain water	Lot 9054	Queenstown Lakes District Council
B, D, BC		Lot 9055	
E		Lot 80	
F		Lot 81	
I		Lot 9067	
J		Lot 2 DP 530916	

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Please refer to sheet 1 for plan notes

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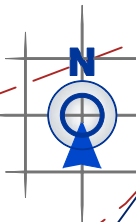
Client/Location:
RCL Henley Downs Limited
Barn Road
Hanley's Farm

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Drawn by:	MA Aug 2021		
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Approved by:		Sheet No:	Revision No:
Job Ref:	Q6205 - 92	5	E
			Date Created:
			03/09/2021

KEY

- proposed lot boundaries
- - - adjacent existing parcel boundaries
- new or existing easements to remain
- existing easement to be surrendered
- underlying parcel (RT) boundary
- existing legal/consented boundary of site



Lot 9 DP 498179
311.7698ha
(RT 737332,
Henley Downs Farm Holdings Limited)

Lot 8 DP 498179
5.9113ha
(RT 737331,
RCL Henley Downs Limited)

Lot 1031
RM200158
1.21ha est.

Area AF DP 498179
existing Right of way (walkway) easement (in gross) in favour of Queenstown Lakes District Council and Jacks Point Residents & Owners Association Incorporated **to remain**

Area F DP 510675
existing Right of Way **to remain**

Lot 1030
RM200158
1.24ha est.

Area AZ DP 498179
existing Right of way (walkway) easement (in gross) in favour of Queenstown Lakes District Council and Jacks Point Residents & Owners Association Incorporated **to be surrendered**

Lot 7 DP 498179
7.7202ha
(RT 737330,
RCL Henley Downs Limited)

Lot 1032
RM200158
0.17ha est.

Lot 86 RM200158
0.48ha est.
Local Purpose (Local Park and Stormwater) Reserve

Area AY DP 498179
existing Right of way (walkway) easement (in gross) in favour of Queenstown Lakes District Council and Jacks Point Residents & Owners Association Incorporated **to remain**

Area AX DP 498179
existing Right of way (walkway) easement (in gross) in favour of Queenstown Lakes District Council and Jacks Point Residents & Owners Association Incorporated **to be surrendered**

Lot 10 DP 498179
27.0667 ha
(RT 737333,
Henley Downs Land Holdings Limited)

Lot 1 DP 530916
2.3938 ha
(RT 945626,
FCL WP Limited)

Area AW DP 498179
existing Right of way (walkway) easement (in gross) in favour of Queenstown Lakes District Council and Jacks Point Residents & Owners Association Incorporated **to remain**

Area AV DP 498179
existing Right of way (walkway) easement (in gross) in favour of Queenstown Lakes District Council and Jacks Point Residents & Owners Association Incorporated **to be surrendered**

Area AU DP 498179
existing Right of way (walkway) easement (in gross) in favour of Queenstown Lakes District Council and Jacks Point Residents & Owners Association Incorporated **to remain**

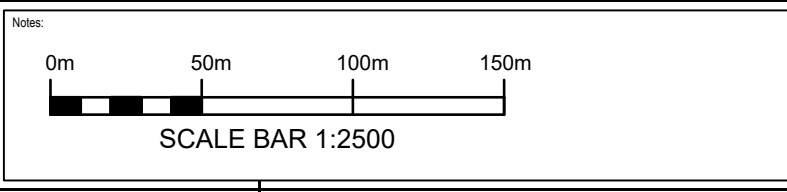
Lot 2 DP 530916
7.7821 ha
(RT 945756,
Willow Pond Farm Limited)

Consent Notices 10991315.8 and 10991315.9 shall be deemed to have **expired** for all residential lots, reserve lots and road lots shown on these plans upon deposit of the survey plan, under Conditions (c) and (e) of those instruments.

Consent is applied for to cancel Consent Notice 10991315.9 Condition d (provision of open space areas) as it relates to Lots 57 and 9080.

Consent is applied for to cancel Consent Notice 7919701.15 (on Lot 7 DP 498179) as it relates to all residential lots, reserve lots and road lots, and to cancel Condition d as it relates to Lot 82.

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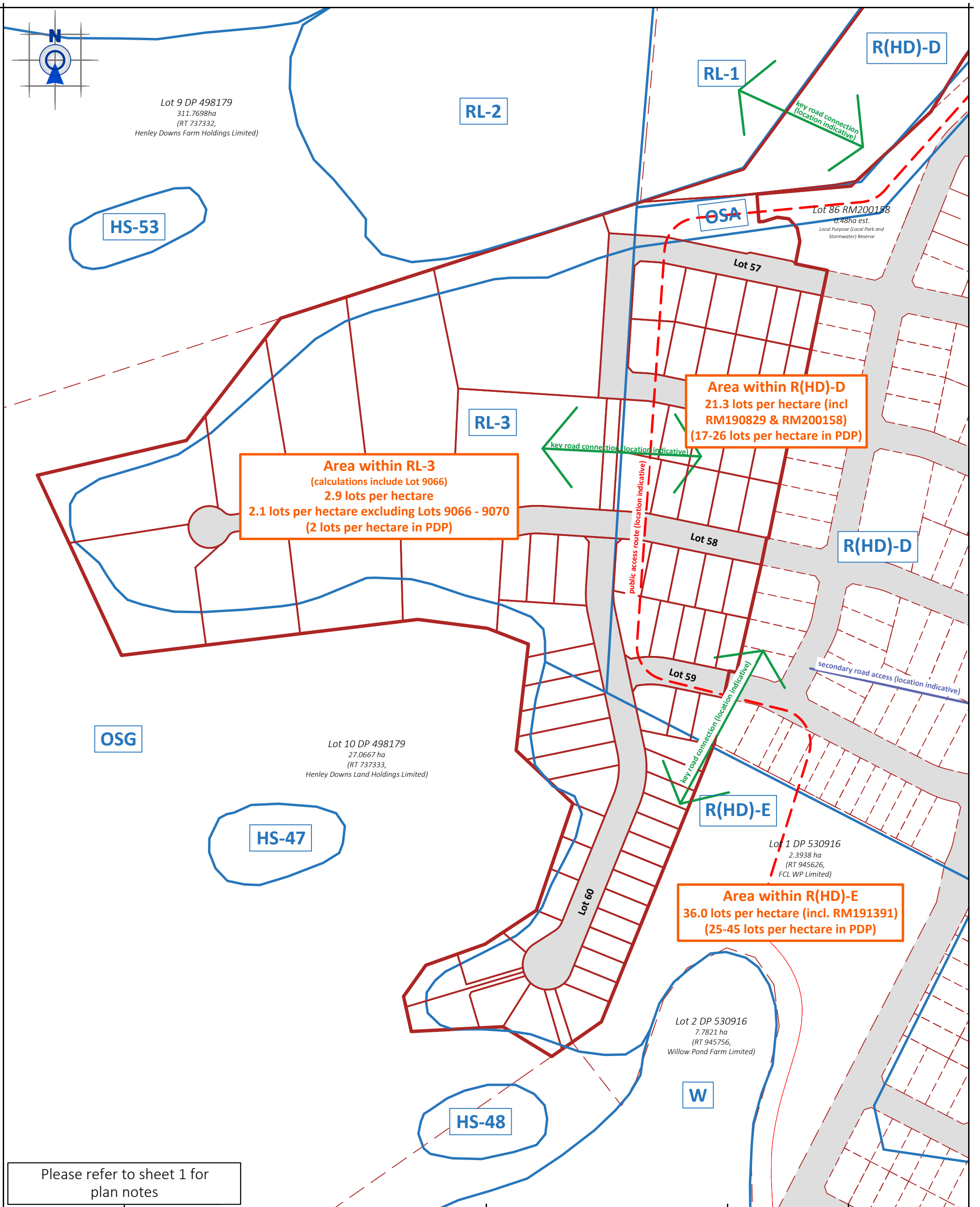
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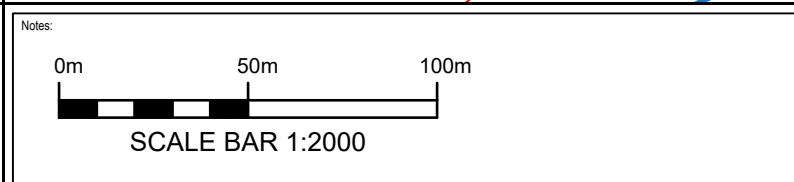
Purpose/Drawing Title:
Plan of Proposed Subdivision - DP9
Existing Title Interests

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Drawn by:	MA Aug 2021		
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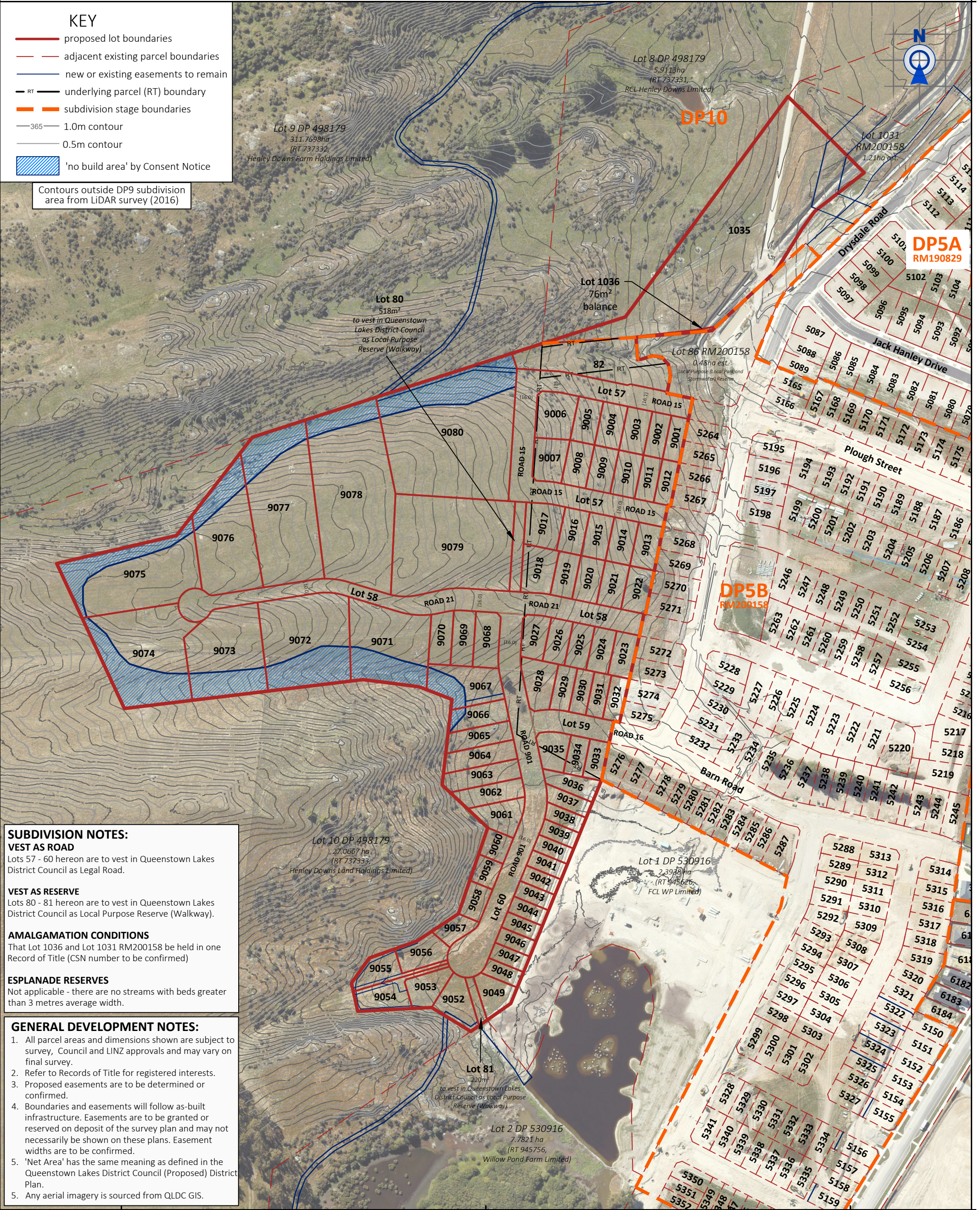
Purpose/Drawing Title:
Plan of Proposed Subdivision - DP9
Structure Plan Overlay

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Drawn by:	MA Aug 2021		
Checked by:	DB, SW Aug 2021	DO NOT SCALE	
Approved by:		Sheet No:	Revision No:
Job Ref:	Q6205 - 92	7	E
			Date Created:
			03/09/2021

KEY

- proposed lot boundaries
- - - adjacent existing parcel boundaries
- new or existing easements to remain
- RT — underlying parcel (RT) boundary
- subdivision stage boundaries
- 365 — 1.0m contour
- 0.5m contour
- 'no build area' by Consent Notice

Contours outside DP9 subdivision area from LiDAR survey (2016)



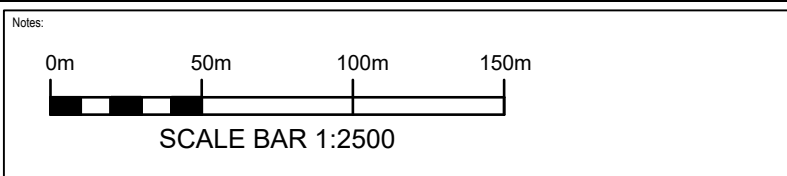
SUBDIVISION NOTES:

- VEST AS ROAD**
Lots 57 - 60 hereon are to vest in Queenstown Lakes District Council as Legal Road.
- VEST AS RESERVE**
Lots 80 - 81 hereon are to vest in Queenstown Lakes District Council as Local Purpose Reserve (Walkway).
- AMALGAMATION CONDITIONS**
That Lot 1036 and Lot 1031 RM200158 be held in one Record of Title (CSN number to be confirmed)
- ESPLANADE RESERVES**
Not applicable - there are no streams with beds greater than 3 metres average width.

GENERAL DEVELOPMENT NOTES:

1. All parcel areas and dimensions shown are subject to survey, Council and LINZ approvals and may vary on final survey.
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Client/Location:
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Barn Road
Hanley's Farm

Purpose/Drawing Title:
Plan of Proposed Subdivision - DP9
Existing Contours

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